

### GENERAL REMINDERS

1. Professors will be responsible to self-jury their students and only submit the best two projects (2) per independently taught class/studio for judging in this competition
2. All final submittals are to be sent to: [design4next@gmail.com](mailto:design4next@gmail.com) All submittals are due by December 7th.
3. Submittals must be in PDF format and be **no greater than 20MB in file size** (no min/max on number of pages)
4. As a reminder, all student participants must be currently registered as juniors or seniors in their design program, 5TH year students enrolled into a 5 year Masters program, or in a master's program where there is no bachelor's degree offered or a master's program where the students have no bachelor's degree in design or other previous design experience.
5. Students must submit an entry as an individual, not as part of a team.
6. **All questions must be submitted by September 29th** and all questions must be submitted to: [design4next@steelcase.com](mailto:design4next@steelcase.com)
7. Each student participating **MUST individually register no later than September 29th** to be considered eligible. Students can register by going to this link: [Student Registration](#)

### NEW - Q+A QUESTIONS + ANSWERS – Questions submitted through September 29, 2023

**Q:** Based on the previous question it has been determined that this is the number of workstations for each department:

- corporate: 3 architects, 9 designers
- education: 2 architects, 4 designers
- healthcare: 3 architects, 6 designers
- visitors: 6 workstations

This total is 33, so are the other 5 workstations for support staff (total of 38)? Can the workstations be grouped by department, rather than having all the workstations together?

**A:** The students may group the workstations however they choose best supports their design intent. It can be by department, function, all together, etc. It is up to them to decide how to best design for their concept and design intent.

**Q:** Could we get the sprinkler plan so students could have some portion of the space with suspended ceiling and not interfere with the sprinkler system?

**A:** We do not have the sprinkler plan. The students may make any assumptions regarding the sprinkler plan and incorporate this for their designs and this is something that could be modified with any suspended ceilings as needed onsite.

**Q:** All of my students have registered online. Is there a place where professors need to register the class as well?

**A:** Thank you for confirming all of your students have registered. I have noted you are teaching a studio participating and have confirmed you on our distribution list. Nothing else needed.

**Q:** Are the Mechoshades provided on all parts of the exterior glazing? In the provided pictures, it looks like the shades only cover the top portion of the exterior glazing, and not the bottom portion.

**A:** Assume the shades cover both the top and bottom portion.

**Q:** In renderings, can students show logos? For example, Revit or Coke on computer screens or in the café areas?

**A:** Yes, this would be permitted. The copywrite and/or Trademark icon needs to be included on any logos used....even if very small.

**Q:** For spaces that have multiple required (ex. Private offices require 8 of them) does the square footage apply to each individual space or all of them combined?

**A:** For the square footage we provide on the program document, that is the SF allocation for each individual space. In your example for the private offices, the 120SF is for each individual private office.

**Q:** Our students are using Revit 2023 and this is the message they receive when they open the file - how would you like them to proceed?

Model Upgrade ×

Your model needs to be upgraded from Autodesk Revit 2022 to Autodesk Revit 2023. How would you like to proceed?

When the upgrade is saved, you will no longer be able to open it in earlier releases.

→ Upgrade the model.

Your model will be accessible in Autodesk Revit 2023. Once the model is saved it will not be accessible to earlier versions.

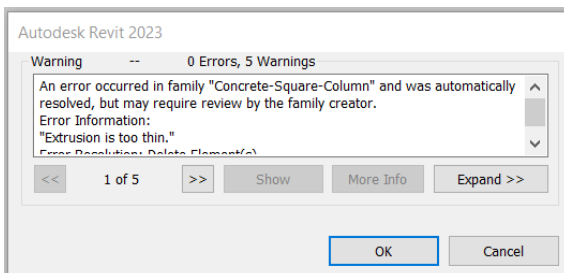
→ Cancel the upgrade.

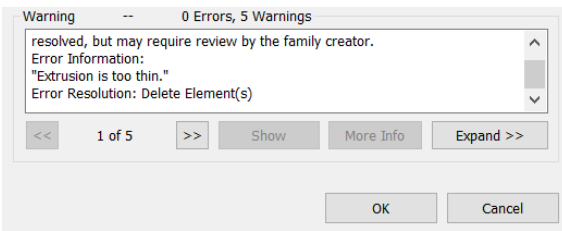
Do not continue with the upgrade. It will continue to be accessible to Autodesk Revit 2022.

[What happens when the model is upgraded?](#)

**A:** Have your students click on the "Upgrade the model" option, this won't affect the model and it's only asking because the model that was provided to us is on a previous version of Revit. There will not be any issues.

**Q:** An error occurred in family "Concrete-Square-Column" and was automatically resolved, but may require review by the family creator. Error Information: "Extrusion is too thin." Error Resolution: Delete Element(s). Is that what should happen? Do you want them to try to repair the model elements that will not transfer? See attached screen shots:





**A:** Steelcase did not develop the model ourselves, we only converted the file to CAD (2D and 3D) and created a viewer-only option. We received the file from the property owner where they scrubbed all of the interior architecture elements, etc. and it appears there are issues with the file. PLEASE NOTE, no students or programs should contact the building owner or property manager for any of these discrepancies. Per mentions in prior Q+A, please have your students remove any floating and/or foreign objects in the drawings and resolve any issues with architectural elements as needed so they can complete their design work. None of this will be part of the evaluation criteria for the judges.

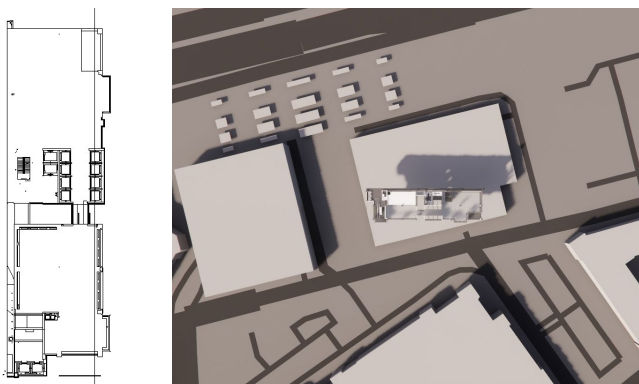
**Q:** I have a student that is considering splitting the mezzanine into two different floor levels. For example 2000 sf would be 12' above finished floor and 2000sf would be 17' above finish floor. If they use a ramp to travel between the two mezzanine levels would the ramp or circulation area be included in the 4,000 sf or would it be in addition to and not count against the max 4000 sf size?

**A:** Please have your students review the published Q+A (from this past Monday) in full. This question has been addressed; however, the short answer is yes you can split; however, the ramp will not count in the SF of the mezzanine if only a ramp; however, if "in-between" workspaces are created along the path, that SF would count.

**Q:** On the renders in Revit, it shows up with elements inside of elements so the whole thing flashes when moved. In addition, there are floating elements throughout the model that aren't on any of the plans. Should they delete the elements that are floating? And should they try to solve for the elements inside of elements to eliminate the flashes?

**A:** Per above, please delete these items and eliminate the elements causing the flashes. Our apologies for the Revit files having issues when we received them.

**Q:** Upon opening the Revit file, the building is oriented approximately 90 degrees off the North axis. We confirmed this with both the Revit 3D orientation cube and when adding the address to site context in Enscape. Please see attached images. This greatly changes the sun path and shadows coming into the spaces. How do we proceed with orientation?



**A:** Steelcase did not develop the model. We received the file from the property owner / building manager and they provided the PDF floorplan. If your research informs you that the orientation is off, please use the orientation that matches your research of the site.

**Q:** Is it possible for mezzanines to have sublevels and grade changes as long as they are ADA-accessible with an added elevator or another solution? Can we implement another elevator?

**A:** Yes

**Q:** Can students design multiple unconnected mezzanines as long as the spaces combined are under 4000 sq ft?

**A:** Yes

**Q:** Understanding no materials or FF&E can rest directly on the HVAC grilles, can we place a bar height table (minimum 36" height) against the curtain wall so long as no table legs rest directly on the grille nor any chair legs rest on the grille (accomplished with a deep enough table depth) when an employee sits or stands at the window bar table?

**A:** This question was addressed in earlier Q+A; however, no, nothing may be placed over the HVAC grilles regardless if they come in contact with the grill or not.

**Q:** Is it possible to have a wall with a cut-out above the vent system so that nothing is resting on top of it (given that it's not allowed to put furniture or walls directly on top of vents)?

**A:** Nothing may be placed over the HVAC grilles regardless if they come in contact with the grill or not. This is exact condition and requirement of the actual building condition. However, as we've stated in the published Q+A, walls may connect into the columns along the curtain wall since the HVAC grates are not continuous.

**Q:** Are there any restrictions on opened/exposed ceiling?

**A:** No restrictions other than meeting codes and regulations.

**Q:** Does the exterior terrace need to be designed or factored in with furniture?

**A:** Yes, the exterior terrace is considered in scope for this project.

**Q:** Please confirm if any companies listed under Steelcase's umbrella are considered Steelcase furniture. Such as, AMQ, West Elm, etc.

**A:** Yes, any company listed as part of the Steelcase family of brands and partner brands may be considered/used for this competition. For references, each of those brands are listed under the (About) tab on the Steelcase.com landing page.

**Q:** When graphically showing the ceiling plan, does it need to be of the entire floors (including mezzanine)? Or specifically only the reception and work café?

**A:** What is (required) as listed in the competition resources we have provided are the Work Cafe and reception areas; however, if a student wishes to do additional, that is their choice/decision to do so.

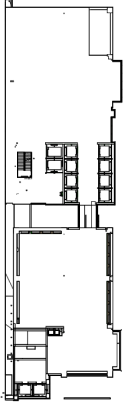
**Q:** If ceiling products such as acoustic suspension systems or decorative panels (such as those from Armstrong Ceiling Solutions) are used, will the student be disqualified? Does it need to be a Steelcase product?

**A:** The ceiling products used per your question can be any solution the student determines works best for their solution.

**Q:** Is it possible to change the position of the patio door?

**A:** The patio door must remain as is.

**Q:** We are just getting familiar with the Revit file. When it opens, Level 3 shows up incomplete. Walls, doors and the restrooms are not visible. It appears that you need to hide some import categories in order to see the plan correctly. When doing so you also need to copy in a wall at the restroom that is otherwise missing. Could you please confirm that this is the way we should work with the existing Revit geometry for the project?



**A:** As has been published in the prior Q+A released we have distributed, there are a few glitches with the Revit file (ie: floating objects related to the MEP, objects within objects, etc.; however, we have not heard that the issue with the walls, doors, and restrooms). We apologize for any inconvenience with the Revit file; however, we were provided this file from the building owner as is. Please work with the existing Revit file in the best way to support your students design work.

**Q:** Are we allowed to move the door that goes onto the patio to a different curtain wall panel? And can we use the patio - not as part of our square footage, but rather as an expansion of adjacent space?

**A:** The door to the patio must remain in place. You can incorporate the patio as an expansion of an existing space – as you mentioned – however, the required amount of SF for the required adjacent space must be met without the SF of the patio. The patio SF is independent of the required SF for the spaces in the program.

**Q:** How are we to interpret "layout surface" in relation to needs in spaces such as the client presentation room, meeting rooms, and huddle rooms?

**A:** This refers to the ability to array items (ie: samples, literature, images, etc.) on tables for use during the meeting. This does not need to be a separate table if appropriate depth is provided for the table(s).

**Q:** Can we build walls over the top of the perimeter grilles to create private offices along the window line - I believe that is possible based on experience, but want to be clear on that.

**A:** Nothing can be built over the perimeter HVAC grills – regardless if it physically touches or not. This is a requirement of this building and this specific HVAC system.

**Q:** Can the mezzanine expand over the top of the restrooms as long as the plumbing wall remains in tact rising vertically thru the space?

**A:** Yes

**Q:** Can shading devices (such as trellises, fabric shading devices, etc) be added to the patio space or can only furniture and planters be added?

**A:** Shades can be provided. I suggest looking at the Steelcase partner brand – Extremis – as they provide many solutions for outdoor. A fabric shading option could also be used; however, a built trellis wouldn't be permitted.

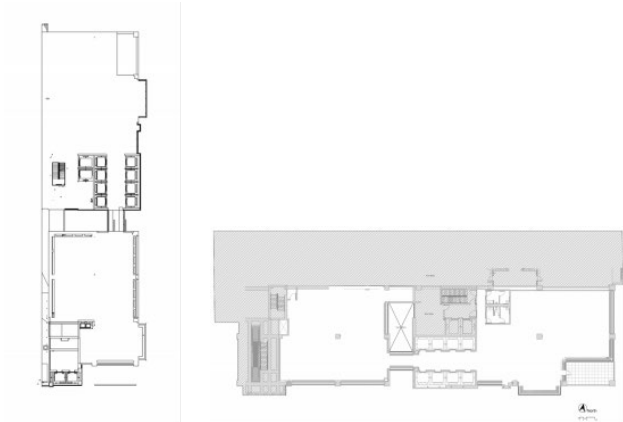
**Q:** Do the meeting spaces (meeting rooms, huddle rooms, small meeting/phone rooms) have to be fully enclosed spaces or can these be furniture focused open collaborative spaces provided they meet the lighting and technology needs?

**A:** There is no requirement for these to be fully enclosed. As you indicated, these spaces must accommodate video calls/collaboration; therefore, consideration needs to be made regarding any acoustical disruption to adjacent groups if both are conducting video/hybrid meetings at the same time.

**Q:** I was wondering if we could split the square footage of the workcafe and create multiple rather than one? Ex. Rather than having one 800 S, having four 200 SF?

**A:** For NEXT, their desire to have one Work Cafe to facilitate interaction and spontaneous interaction across different groups/departments to enrich their company culture.

**Q:** What should be the orientation of our plan? In revit the plan shows as a vertical orientation (left image) and in the pdf/CAD the floor plan is oriented horizontal (right image).



**A:** For this competition, we believe the horizontal orientation for the floor plan is best for review by the panel of judges. However, I want to also point out something that has been identified through the Q+A process regarding the plan and the North direction shown on the PDF. Here is that Q+A to assist you:

**Q:** Upon opening the Revit file, the building is oriented approximately 90 degrees off the North axis. We confirmed this with both the Revit 3D orientation cube and when adding the address to site context in Enscape. Please see attached images. This greatly changes the sun path and shadows coming into the spaces. How do we proceed with orientation?

**A:** Steelcase did not develop the model. We received the file from the property owner / building manager and they provided the PDF floorplan. If your research informs you that the orientation is off, please use the orientation that matches your research of the site.

**Q:** After review of the program, adding up all the spaces, it appears that the total of allowable SF in the space is almost maxed out on program only with no room for circulation. If this is true, what adjustments in the program can be made to all the total program to “fit” in the available space? See the attached/below program spreadsheet.

fall 2023- NEXT program						
SPACE PROGRAM REQUIREMENTS						
COMMON AREAS						
Description	Capacity	Size	SF	Total Qty	SF	Comments/Contents
Reception		300		1	300	
Client Presentation Room	16	375		1	375	
Meeting rooms	6-8'	250		2	500	
Huddle Rooms	2'-4'	150		4	600	
Small Meeting (or Phone Rooms)		48		4	192	
Work Cafe		1,000		1	1,000	
Training Classroom		1,200		1	1,200	
Mothers Room		100		1	100	
Wellness Room		100		1	100	
Resource Center		150		1	150	
Design Library		300		1	300	
Innovation Lab & Model Shop		250		1	250	
Wildcard Space		200		1	200	
Mezzanine		0		1	0	1,000-4,000 sf
Monumental Staircase		125		1	125	1 half of stair
<b>Total Common Area</b>					<b>5,392</b>	
STAFF REQUIREMENTS						
Dept. Name		SIZE	SF	QTY.	EXT	
Private office		120		8	960	
workstations		48		37	1776	
visitor workstations		36		6	216	
<b>Total Staff</b>				<b>51</b>	<b>2,952</b>	
<b>Total Usable SF</b>					<b>8,344</b>	
Circulation Factor			40		5,590	
Rentable Add on Factor			0%		0	
<b>TOTAL SQUARE FOOTAGE</b>					<b>13,934</b>	

**A:** We had a few of our internal designers do test fits and with the added Mezzanine, they were able to fit in everything with enough flexibility to not hinder creativity and provide adequate circulation. We intended for SF range in the mezzanine to accommodate for all the required spaces.

**Q:** Does the work cafe need to support all employees at once (1 chair per person)?

**A:** Considering NEXT will be implementing a hybrid workplace strategy, the need to accommodate every employee at the same time in the WorkCafe is not necessary for 1 chair per person. There could be a few occasions where there is a company wide “stand up” meeting, announcement, or celebration. In those situations, individuals could roll in chairs from workstations for additional seating and/or perching stools provided, etc.; however, not permanently in the space.

**Q:** Do all meeting and huddle spaces have to be fully enclosed, or can a certain amount of those rooms be open with adequate acoustical and room division?

**A:** There is no stated requirement for these to be fully enclosed. Several of these rooms indicate a need to be optimized for video calls and content sharing – this is very important for a hybrid workplace environment – therefore, consideration needs to be made regarding any acoustical disruption to adjacent groups if both are conducting video calls simultaneously.

### Q+A QUESTIONS + ANSWERS – Questions submitted through September 22, 2023

**Q:** Do you have any additional information for the light well beyond what is in the Revit file? The unfinished space photos show a boarded up wall.

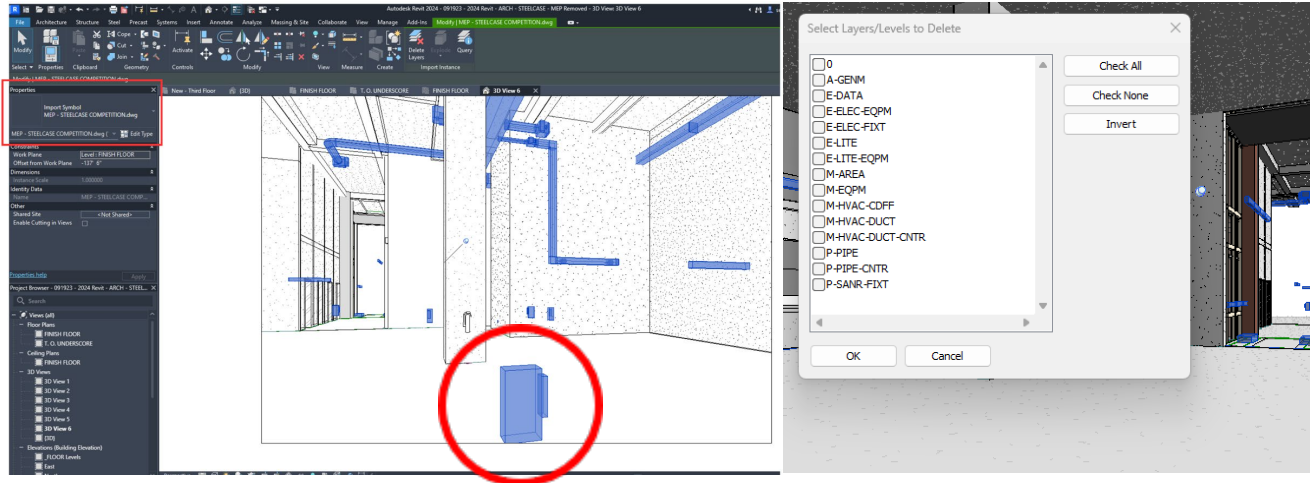
**A:** We have no additional information for lighting other than what is shown in the Revit file and/or the photos of the space we have provided. This can be left to student interpretation for the competition. Regarding the photo of the space with the boarded wall, please refer to the Q+A we distributed last Friday (also linked on the NEXT competition website in the Resources section. This has been addressed.

**Q:** Can a student rename the “Mother’s Room” to be something like “Parent’s Room” to be more inclusive for parents who do not identify as she/her? Also, can students conceptualize this space support other medical needs such as insulin

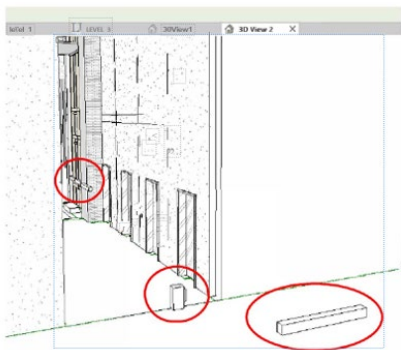
shots, etc. and potentially give the room a broader title to support a variety of staff members? We understand that the student would need to clearly communicate that the client's desire to support nursing mothers is met in their design.

**A:** Yes, if this meets the student's design intent, this is permitted.

**Q:** In the previous Q + A, someone asked about "MEP Steelcase competition import symbol" and you answered with we should remove them. In another Q&A response about HVAC, we learn that we need to keep the HVAC systems in the ceiling. What confuses us is that both HVAC and MEP are linked in the Revit file. There is a way to delete individually, but we would need clarification from you on which HVAC elements to keep. Is there any way for Steelcase to fix the file and re-post for everyone? Or give us clear direction on what to delete versus keep?



**A:** We understand there are "floating" objects labeled as MEP in random places on the floor or along walls like I've circled above in your drawing as well as below from the prior Q+A. These can be removed. The items that shouldn't be removed are along the windows (under the floor) as mentioned in prior Q+A as well as items from ceiling, internal to walls, etc. For the purpose of this competition, students may remove any of these foreign objects as the MEP will not be evaluated as part of the competition.

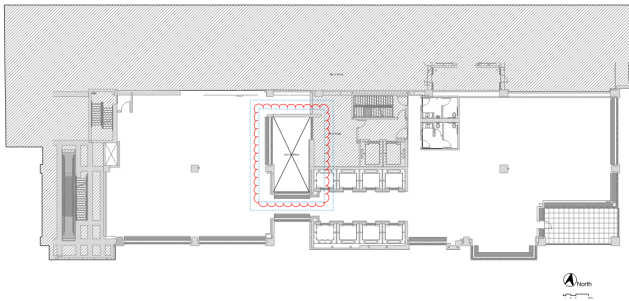


**Q:** For purposes of reinforcing building codes as part of the design process, the mezzanine may need access to a 2<sup>nd</sup> stair. For purposes of code-compliance, can the students consider providing access to the building fire stairs at the mezzanine level (this would require creating a door opening in the existing stair shaft wall at what would have been the 4<sup>th</sup> floor level). Let us know if this will be permitted.

**A:** Yes, this is permitted.

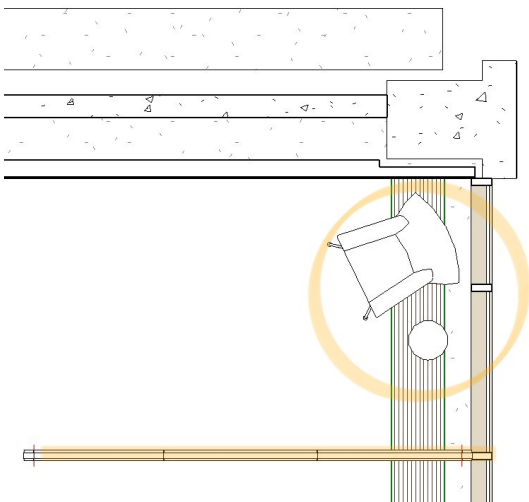
**Q:** There is an enclosed interior double-height space shown on the plan with what look like mirrored reflective glazing. There is no access to that space shown. Can the students consider this an amenity to the floor that perhaps they can design (i.e. hanging garden, decorative light well, decorative wall treatments?)





**A:** That is an enclosed light well through the core of the building up to the 6<sup>th</sup> floor. This space should be considered out of scope for the competition and cannot be modified in any way.

**Q:** Your last Q&A clearly stated no materials can cover the floor HVAC grills around the inside perimeter of the curtain walls. However, 1. can any FF&E be placed over the grills with or without any limitations? Ex. weight or material of FF&E? 2. Can a VIA curtain wall and panel stand over the grill if the VIA Junction End is placed on the concrete floor in between the building's curtain wall and grill? Please see image below for details to both these questions.



**A:** No objects may be placed on or above the grates on the floor. A wall or partition may not cross over the grates; however, these are not continuous. A wall could connect into a column along the exterior curtain wall.

**Q:** If we have the means to travel to Dallas, will we be allowed to tour the facility?

**A:** This space is currently still under construction and due to a few construction delays will not be occupied and open to public until late November.

**Q:** Are we permitted to have a partition wall or systems wall cross over the floor vents to enclose a space and incorporating the curtain wall window system?

**A:** Unfortunately, no. Nothing may be placed over or cross over the floor vents along the windows. Though a wall system or partition cannot cross over the vents, these are not continuous, and that wall system could attach into the columns along the exterior curtain wall.

**Q:** If a mezzanine is placed on over the west portion of the space, can the current enclosed access to the fire-rated stair be lowered to allow the mezzanine maximum use of that space above? This question is similar to the previous question about the bathroom walls on the east side of the space.

**A:** Yes, this is permitted.

**Q:** Do we need to consider the structure of the mezzanine into our designs Any recommended parameters?

**A:** We are not placing any parameters on the structure of the mezzanine other than it must meet all codes and regulations. This is what should be considered as you instruct your students.

**Q:** I know in the past you've encouraged floor access systems -- is this something you'd recommend this year? Or would this conflict with the curtain walls/perimeter floor vents?

**A:** A traditional access floor system wouldn't be feasible along the perimeter windows and floor vents; however, it could be used in other areas with appropriate ramps, etc. if providing such assists the student's design intent; however, isn't a requirement. If one is being considered, you may want to consider the Steelcase Thread Power Hub with Thread Electric Channel for flexibility; however, not required.

**Q:** Could you connect the fire stairs to the mezzanine(s)?

**A:** Yes, as long as codes and regulations are met.

**Q:** Does this hypothetical company have other locations (i.e., is it possible that they'll be hosting very large all-staff meetings)?

**A:** Please see the first paragraph of page 4 of the Contest Overview + Program. Yes, there could be company wide meetings periodically for the entire staff of this location.

**Q:** Can you give examples of the types of things produced in the "Innovation Hub"? (3d printed models, mock-ups, site models?)

**A:** Yes, for the Innovation Lab and Model Shop, this is where things will be 3D printed, physical models built (lite fabrication) and a place where the design team can experiment with different materials.

**Q:** Also, I'm guessing not, but is there a walk-through video available?

**A:** We do not have a walk-through video of this space.

**Q:** Do all elevators stop on our floor?

**A:** Per Q+A we've published, the elevators stop on the third floor – entry level of the NEXT space and the next stops are the ground floor below or the 5<sup>th</sup> floor (different tenant) above.

**Q:** What does the atrium space look at?

**A:** The atrium space is an enclosed light well through the core of the building from the NEXT space up to the 6<sup>th</sup> floor. This space should be considered out of scope for the competition and cannot be modified in any way.

**Q:** Is there natural light filtering in from the atrium or it is closed off?

**A:** Yes, natural light is provided by the light well.

**Q:** Can students remove the glass or refinish it at the atrium?

**A:** This space should be considered out of scope for the competition and cannot be modified in any way.

**Q:** Can the outdoor space have a second level mezzanine or balcony connecting to an interior mezzanine?

**A:** An additional balcony would not be permitted as that would change the exterior of the building.

**Q:** The restroom block extends to the deck above. Can students cut through this space to add mezzanine restrooms or usable square footage for a mezzanine?

**A:** Yes, I believe we answered this in the published Q+A.

**Q:** For branding and identity purposes— Should our project be thought of as a Dallas-based architecture firm? Or should our project be primarily viewed as a global architecture firm that has an office in Dallas?

**A:** Per the Contest Overview + Program document, NEXT should be viewed as global architecture and interior design firm with this space being their new Dallas branch office.

**Q:** Does every furnishing have to be a Steelcase product? If so, are we able to reupholster the furniture or refinish them to fit the theme we develop?

**A:** Steelcase product is made to order and you can specify the finish/material choices however you wish from available finishes.

**Q:** Does all lighting have to be a Steelcase product? Do we also have to provide the lighting levels and specifications for the space— footcandles, RCP, etc.?

**A:** All lighting does not have to be Steelcase product. Please thoroughly read the Contest Overview + Program document as well as the Contest Background and Judging Criteria document. Both are found on the NEXT website and state clearly which spaces require an RCP.

**Q:** Steelcase is evidently a more commercial/office furniture company. If we want to include soft seating that is more “residential” in nature or maybe even something like a nap pod— are we able to outsource those from another company?

**A:** This is a commercial space and therefore consideration should be made regarding furniture for commercial use. If a “nap pod” is found for this use that meets this requirement, it may be included.

**Q:** I have ideas for custom furnishings and Steelcase’s inventory does not offer what I need. Are we able to produce custom furnishings if it is supported by reasoning as to why it would make my project stronger for my users? For instance, if I have a need for a custom conference table, am I able to produce that custom piece even though Steelcase has table products?

**A:** Per the stated requirements in the Contest Background and Judging Criteria document, furniture specifications of custom or non-Steelcase brand or partner brand company products may not surpass 20% of all furniture specifications. You would want to provide your reasoning for the custom piece in the submittal.

**Q:** If we are able to produce custom furnishings or built-ins, do we need to provide specifics on those “fictitious” products? If so, will we need to provide dimensions, materiality, prospective manufacturer, etc.?

**A:** For custom pieces or built in furniture, you need to provide the materiality choices.

**Q:** Currently, the interior core walls are drywall, are we able to change the wall materiality?

**A:** The interior core walls materiality may be modified to meet your design intent. No exterior walls/curtain walls may be changed.

**Q:** It’s indicated that the space should be ADA-compliant. Should all desks and chairs be ADA-compliant? If not, what percentage of the furniture needs to be ADA-compliant?

**A:** This is to be determined by the student and their design intent. The requirement is the space meets all codes and requirements.

**Q:** ADA compliance is such a broad topic given that there are so many disabilities, what disabilities should we plan for? I would assume wheelchair accessibility should be a high priority but is there another disability that we should strongly consider?

**A:** This is to be determined by the student and their design intent. The requirement is the space meets all codes and requirements.

**Q:** For the Work Cafe and ADA compliance, should all the cabinetry be accessible to someone in a wheelchair?

**A:** This is to be determined by the student and their design intent. The requirement is the space meets all codes and requirements.

**Q:** Where is the placement of the provided photo "zz-1.jpg" within the floor plan? Can we alter this space or move it all together? I assume this is a part of the "Work Cafe," please confirm if so.

**A:** The photos provided are of the unfinished spaces with core building elements. None of the existing walls from the unfinished floorplan of the space may be altered or moved. I am unsure of which photo you are referring to as we see the photos provided labeled as photo1 DALLAS through photo11 DALLAS.

**Q:** After we have established the design, FF&E, etc. — should we focus on accessory items to include in the schedule? Some of these items I am classifying as accessories are whiteboards, computers, artwork, plants, etc. How much weight in the judgment process will those accessory items have?

**A:** Only Furniture and fixtures need to be in the schedule.

**Q:** Given that exterior glass must stay in place, are we able to manipulate the space to include an additional patio area or perhaps a movable glass wall that allows connection to the outdoors?

**A:** An additional patio may not be added. None of the exterior walls/curtain walls may be altered.

**Q:** Can the roof (highest ceiling point) be manipulated? Are there any limitations on renovations to the roof?

**A:** The roof is out of scope and cannot be manipulated.

**Q:** If you look at the NEXT Overview page (4) they mention the company has clients in workplace, healthcare, education, aviation, hospitality, and sports. Then under Programming Info (page 21) it says, “there are three design studios...

divided into Corporate Workplace, Education, and Healthcare. And this is mentioned again in the Q & A. Do we scratch aviation, hospitality, and sports off the list? Please Advise

**A:** On page 4 of the Overview document, the listed clients are referring to the entire global NEXT firm with their 27 offices. The list of the three studios on page 21 is reflective of what will be in this new Dallas branch office for NEXT. Aviation, Hospitality, and Sports studios will not be part of the Dallas office program.

**Q:** Can the students use wall systems from other manufacturers or must only Steelcase products be used, even for wall systems?

**A:** If a reconfigurable/demountable wall system is used, the students should use one of the Steelcase wall systems.

**Q:** For spaces that have multiple required (ex. Private offices require 8 of them) does the square footage apply to each individual space or all of them combined?

**A:** For the square footage we provide on the program document, that is the SF allocation for each individual space. In your example for the private offices, the 120SF is for each individual private office.

### Q+A QUESTIONS + ANSWERS – Questions submitted through September 15, 2023

**Q:** To ensure I understand the process, we have all of our students register by 9/05 but only the top two projects are submitted in December, correct?

**A:** Yes, you have EVERY student who is participating in the competition in your studio/class register via the link we provided. However, they have until (9/29) to register...that is the date when registration ends. And, yes, you will only submit your TOP TWO projects from ALL your students to enter into the competition for judging.

**Q:** I have incorporated the competition in a class where twenty students will be participating. The top two will enter. Do each of my students need to register separately at this point knowing only two can submit in Dec.?

**A:** Yes, you have EVERY student who is participating in the competition in your studio/class register via the link we provided. Yes, you will only submit your TOP TWO projects from ALL your students to enter into the competition for judging. \*Please note 2 per program = 2 per individually taught studios/classes. Example: one studio with two professors may submit a total of two entries. Two different studios with different class schedules and/or different instructors/students can submit two entries for each studio.

**Q:** In the competition deliverables/submission guidelines (p. 4, #20, e & f), you have specified that the plan and RCP be drawn at 1/8" scale. Although students may draw at that scale in Revit, does the presentation need to include 1/8" size drawings, as well? Normally, the presentation plans are reduced in size to fit the presentation format. To this point, in the previous winner's presentation, there is no scale indicated at all on the plans? I would assume that a graphic scale would be most appropriate for presentation plans, if any scale is to be noted at all?

**A:** You are correct about drawing at that scale in Revit; however, as you indicated, the presentation would be scaled as appropriate to fit the format of the presentation. Our apologies for the confusion on this.

**Q:** Is the main access to 3<sup>rd</sup> floor the elevator lobby?

**A:** Yes, the access to the 3<sup>rd</sup> floor is through the elevator bank in the lobby of the building.

**Q:** Could access to mezzanine be elevator or does it have to be lift?

**A:** Access to the mezzanine needs to be through a lift as the elevators have been built/created to stop at the 3<sup>rd</sup> floor and the 5<sup>th</sup> floor and the building owner doesn't want that to be modified. This photo shows the built condition for the elevator bank that cannot be modified to add a stop at a newly constructed mezzanine level. Therefore, a lift needs to be provided.



**Q:** How many architects/designers work in each department: corporate, education and healthcare?

**A:** For the purposes of this competition, consider these counts for the number of architects/designers for each department:

- corporate: 3 architects, 9 designers
- education: 2 architects, 4 designers
- healthcare: 3 architects, 6 designers

**Q:** Several objects are on the floor that appear to be part of the HVAC component. Are these supposed to be there?

**A:** Yes, these are part of the HVAC system.

**Q:** Can the grates on the floor by the windows be covered with a flooring material or are they part of the HVAC and need to be exposed?

**A:** The grates on the floor are part of the HVAC system and cannot be covered with any material. If you review the photos of the unfinished space in the resources section of the next website, you can see them along the windows.

**Q:** Are these vents? Where are they located?



**A:** The items in question are vents that are part of the building HVAC system. These vents are located on the floor and cannot be removed or covered with any material. They can be seen in the photos of the unfinished space that are linked in the Resources section of the NEXT website. They are along the windows.

**Q:** Are there more images of interior space - a view of the opened wall?

**A:** We do not have any additional photos of the unfinished space other than what we have posted on our NEXT website per answer above.

**Q:** For Steelcase items that we want to use in our projects, but do not have 3D download models, such as work pods and lighting fixtures, are we supposed to recreate them?

**A:** Unfortunately, we do not have model downloads for every available item that can be specified. The students can either reselect an option that has the available files or (if the product in question is not a Steelcase product but is a partner brand, you may want to look at the partner companies website to see if the files are available there. If none of that work and they still want to use that product in their project/drawings, they will need to recreate them.

**Q:** Is there a limit to what we can wrap the structural columns with?

**A:** We do not have any limits here.

**Q:** Can plumbing and electrical run through mezzanine floor?

**A:** If this meets the students design intent, we do not see an issue with allowing this as long as it meets all applicable codes and restrictions.

**Q:** Are there any restrictions with the mezzanine lift we should know about to avoid?

**A:** The only restrictions would be meeting all applicable code requirements

**Q:** The Programming information says that there are 37 workstations, but the employee breakdown is listed as 31 Architecture and Design, and 7 Support Team. This comes to 38 employees. Do we need to have 37 or 38 workstations for the 38 employees?

**A:** We apologize for our oversight on this error. The correct number should be (38) as you have identified. Thank you for catching this and letting us know so we can inform others through the published Q+A.

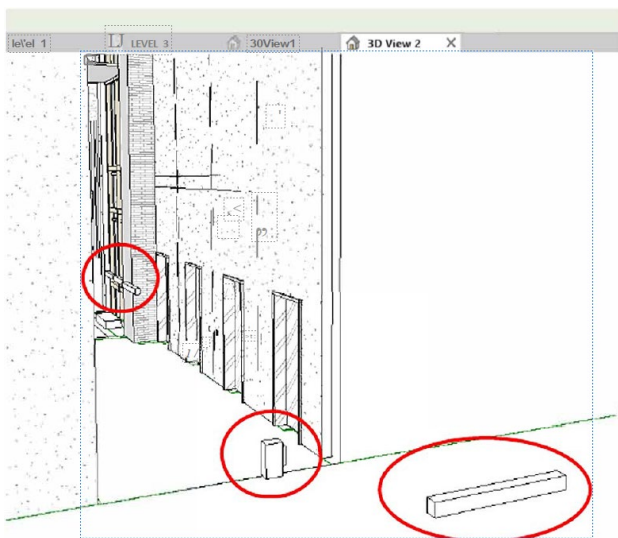
**Q:** When the square foot requirements of a space say "approximately," does that mean that it is okay for the space to be slightly smaller? If so, by how much can it be reduced and still be considered okay.

**A:** Our intent is to have the SF to be within the range; however, at times we can consider these ranges to be nominal and will accept a deviation of no more than 5% from the stated range (smaller or larger)

**Q:** There are three teams within NEXT, how many designers and architects and interns belong to each team?

**A:** Please see above. In addition to that, the interns can be placed on whatever team the student chooses, the project coordinators are to be with their associated teams, and it is up to each student to determine where they place each of the remaining design staff and support team...this is up to them to decide based on their design intent.

**Q:** Can you identify these pieces that are on the plan, but appear to be labeled MEP STEELCASE COMPETITION IMPORT SYMBOL



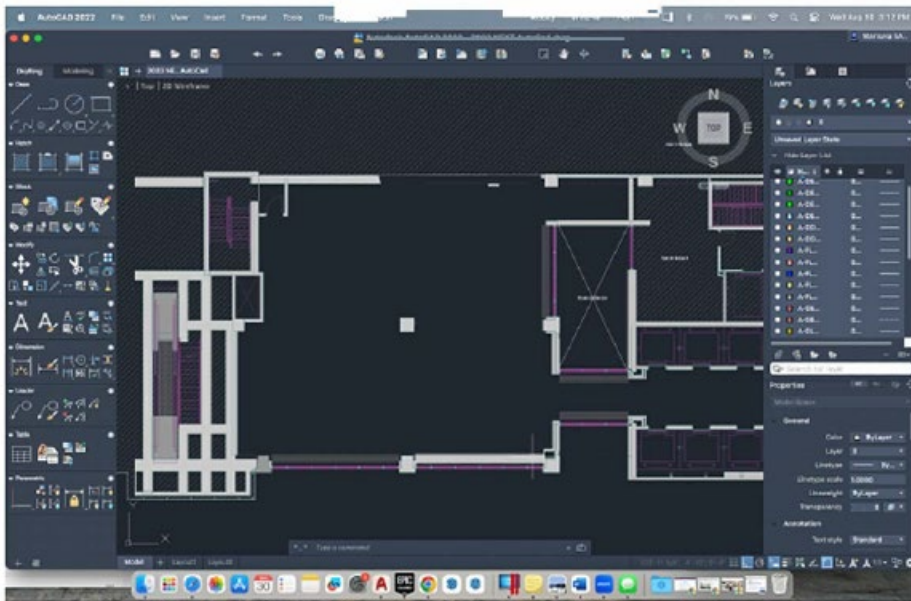
**A:** We are unsure of what these are. These should be removed from your drawings. These may be items that were inadvertent left on the drawing when the actual space was having everything removed from the files to bring them back to the original base building/unfinished space or they are an error on the file. Please disregard and remove.

**Q:** If a student wants to add an extended landing for the monumental stair that can be used for lounging or casual meeting, etc. does the lift also need to stop at this level? At what size does an extended landing get to be considered a mezzanine?

**A:** If a comparable alternative space is provided elsewhere that provides equal access (ADA), then a lift wouldn't need to stop at this level; however, you will need to consider the aforementioned. Considering the lift will be added to the program, in essence, it could be designed to stop at any increment desired. The extended landing shouldn't be considered as part of the mezzanine.



Q: Is this wall open to another room? The north wall in the left side of the floor plan...the thin part of the north wall.



A: The wall in question is a Concrete Masonry Unit (CMU) wall and on the other side of this wall is the parking garage. The interior side of the wall is having sound batting added and for some reason it is showing up this way in our drawings. Please see a photo of the wall while under construction as it is being prepared for sound batting. For this competition, this wall can be considered as normal construction.



Q: Would it be possible to use any AI image generator in the final submission, such as rendering, to create the image? Could AI image generators only be used in the ideation process, such as sketching ideas but not in the final submission?

A: We have no limitations on how the generate their images throughout the process of developing their project. You will want to ensure that whatever generator is used, if used, there are no copyright infringements. Another consideration is following the submission criteria we have provided and remembering the final submission must be in PDF format and the file size not exceeding 20MB in size. You will want to consider the design software that will provide the best output quality once saved as a PDF for submission.

Q: Can the mezzanine have multiple sections, as long as the total SF is less than 4000 SF?

**A:** Yes, if this meets the students design intent, this is permitted. However, if it isn't a contiguous mezzanine, each section would need its own lift system and at least one section would need to have the required connecting/monumental staircase.

**Q:** Can the mezzanine cross through the elevator lobby?

Code stipulates mezzanine SF maximum 1/3 of floor square footage which would be  $(8570 * 1/3 = 2857 \text{ SF})$ . Which should we assume (4,000 per program or 2,857 per code)?

Or, is the building type Type I or II, allowing a mezzanine of half the floor's square footage  $(8570 * 1/2 = 4285 \text{ SF})$ ?

**A:** Yes; however, the building elevators cannot be used at the lift to the mezzanine. Regarding the code and building type, for this competition, consider the building type I or II.

**Q:** Should students ignore installed sprinkler system? There are several large vertical pipes in the space adjacent to columns etc (I measured the height from the floor finish to the bottom of the HVAC pipes and it is  $26' - 2 \frac{5}{8}''$ ).

**A:** The sprinkler system should be considered as part of the building infrastructure and incorporated into the design of the space.

**Q:** Should we assume the floor and ceiling deck can hold anything? The mezzanine and ceiling elements could be heavy.

**A:** Yes, that can be assumed.

**Q:** Are the restrooms provided adequate for the occupancy? Or can students provide additional restrooms?

**A:** Consider the bathrooms that are provided are adequate. We are not asking students to make any edits to the existing bathrooms; however, if a student wants to provide additional bathrooms, they may do so if this meets their design intent; however, not required to do so.

**Q:** Does the existing ceiling-mounted mechanical remain? Since there are large supply registers by the windows, is there already an hvac system installed in the floor for the tenant? Should students avoid placing items on the registers?

**A:** Yes, the ceiling mounted mechanical should remain and be considered when designing the space. The floor registers along the windows are part of the building HVAC system must remain and cannot be covered with any material.

**Q:** Is it necessary for the student to consider the HVAC system for the Innovation Lab & Model Shop?

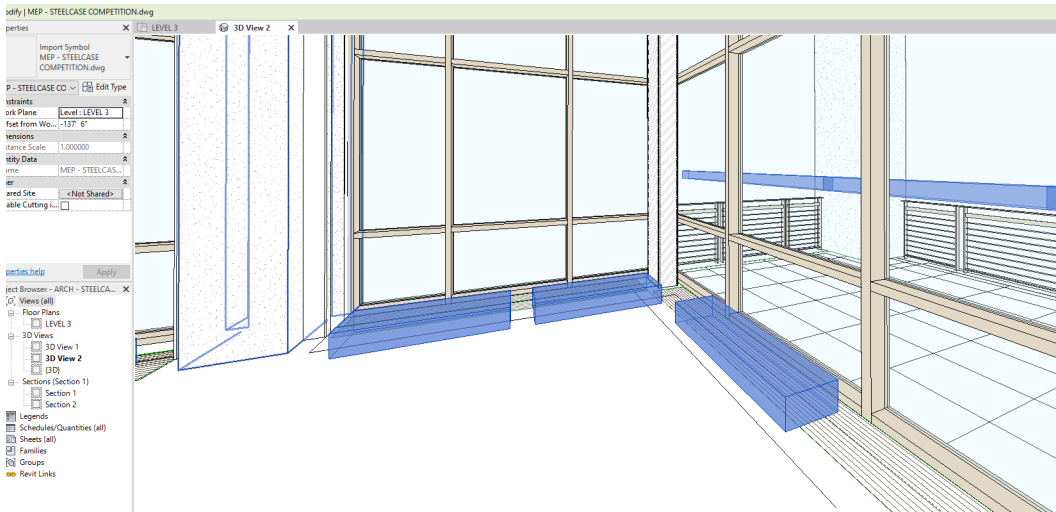
**A:** For the purpose of this competition, it is OK to assume the current HVAC system is sufficient.

**Q:** Is there a utility room, or need for one?

**A:** Consider the utility room to be out of scope for this competition and unnecessary to include and/or to be designed.

**Q:** Please see attached image. In the 3D in the Revit file, it appears that these rectangular elements are labeled at MEP. Are they supposed to be above or below and we should move them or hide them in the file?

In the finished photos of the space, they don't appear and there appears to be unobstructed floor-to-ceiling curtain wall at the east and south perimeter. My students are wanting to double check that there are no obstructions on those walls.



**A:** The elements labeled as MEP are errors on the drawings. These can be deleted or hidden within the file. What is shown as unobstructed curtain walls on the south and east sides of the plan are indeed that. No obstructions on the walls where indicated.

**Q:** Can areas or functions with overlapping objectives be combined with clearly communicated justifications / reasoning? For example, the client presentation and training room.

**A:** If this can be accomplished and provide an adequate solution for a situation when there is an internal training or company meeting happening at the same time as a client presentation, then this would be permitted; however, clearly providing adequate space to accomplish both at the same time (which was the original intent) and part of the program requirements from the client.

**Q:** In the photos, the walls of the existing bathrooms go the full height of the space. Can that be adjusted to a 13' to 15' height if a chase is used for the plumbing venting? Student are wondering about having that sqft to use if the mezzanine is placed on that side of the space.

**A:** Yes, that is permitted.

**Q:** Are we able to split the mezzanine square footage within the space or keep it as one whole area? In other words, can you have two separate mezzanines if the appropriate egress is provided?

**A:** Yes, this can be accomplished; however, you will need to provide a lift for both if they are separated and not connected and as you indicated, appropriate egress needs to be provided.

**Q:** Can we include the patio Sq. Ft. in our work cafe Sq. Ft.?

**A:** The patio SF should not be considered as included in the Work Café SF allocation.

**Q:** What material is the slightly raised flooring in front of each window? Would it be flush with a low pile carpet? Can it be built over?

**A:** The items in question are vents that are part of the building HVAC system. These vents are located on the floor and cannot be removed or covered with any material. They can be seen in the photos of the unfinished space that are linked in the Resources section of the NEXT website. They are along the windows.